

## **KEY MAP** SCALE: I" = 2,000'±



SOURCE: GOOGLE EARTH PRO, IMAGE DATED 06/05/2022, RETRIEVED 10/09/2023

SCALE: I" = 200'±

## PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Detroit, MI www.stonefieldeng.com

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NORTH PLAINFIELD UTILITIES LIST			
COMPANY	CONTACT	ADDRESS	
NEW JERSEY AMERICAN WATER COMPANY, INC	DONNA SHORT, GIS SUPERVISOR	1025 LAUREL OAK ROAD VOORHEES, NJ 08043	
PLAINFIELD AREA REGIONAL SEWERAGE AUTHORITY	N/A	200 CLAY AVENUE MIDDLESEX, NJ 08846	
PUBLIC SERVICE ELECTRIC & GAS COMPANY	MANAGER - CORPORATE PROPERTIES	80 PARK PLAZA, T6B NEWARK, NJ 07102	
VERIZON	N/A	540 BROAD STREET NEWARK, NJ 07101	
COMCAST OF PLAINFIELD, LLC	GENERAL MANAGER	800 RAHWAY AVENUE UNION, NJ 07083	

PLAINFEILD, NJ, DATED 2023

NORTH PLAINFIELD 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
110	2.01	BIELSKI, FILIP & LYNNE	450 GROVE ST
110	2.14	SOMERSET COUNTY IMPROVEMENT AUTH.	20 GROVE ST., PO BOX 3000 SOMERVILLE, NJ 08876
110	25	VINCE, ELEANOR	221 DRYDEN RD BENARSVILLE, NJ 07924
110	26	VINCE, ELEANOR	221 DRYDEN RD BENARSVILLE, NJ 07924
110	27	VINCE, ELEANOR	356-8 GROVE ST.
110	28	PETTY, ROCHELLE & JEFFERY	360-62 GROVE STREET
110	29	ALI, AMANAT	364 GROVE STREET
111	I	ROSARIO, LUIS E. & JOESPH, LIZA	87 INTERHAVEN AVE.
111	2	ZAMBORI, MARGARET & FODOR, ALPAR	451 GROVE STREET
111	3	TONEY, LISA S.	VANDERVEER STA. #100303 BROOKLYN, NY 11210
111	4	LAMASTRA FAMILY, LLC	9 JACOBS LANE SCOTCH PLAINS, NJ 07076
111	5	MUNIR, RAJA M. & AKHTUS, YASMIN	429 GROVE STREET
111	6	CVELICH, THOMAS & THERESA	425 GROVE STREET
111	7	ROYER, WILLIAM A. & CHARLOTTE M.	90 RIDGE AVENUE
120	I	AHMED, SAJJAD	411 GROVE STREET
120	1.01	AHMED, RAJA ALI & SHAKOOR, RAJA A	79 RIDGE AVE
120	2	FOR JOY, LLC	P.O. BOX 2917 PLAINFIELD, NJ
120	3	NP FOREST I LLC & NP FOREST 2 LLC	930 E COUNTY LINE RD S103 LAKEWOOD, NJ 08701
120	4	DIAZ-NAVARRETE, LUIS	401 GROVE STREET
120	5	301-399 GROVE STREET, LP	500 RIVER AVE., SUITE 250 LAKEWOOD, NJ 08701
120	6	301-399 GROVE STREET LP	22 ESTHER COURT LAKEWOOD, NJ 08701
120	7	CABRERA, MANUEL & CABRERA, ADELIA	387 GROVE STREET
120	8	MRISOFIA REALTY, LLC	20225 NE 16TH PLACE MIAMI, FL 33179

# PRELIMINARY & FINAL MAJOR SITE PLAN FOR

# **VILLANI REALTY GROUP PROPOSED RESIDENTIAL** DEVELOPMENT

BLOCK 110, LOTS 2.02-2.13 430 GROVE STREET

BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY



OF GREEN BROOK ZONING MAP, DATED JUNE 2019

**AERIAL MAP** 

![](_page_0_Picture_21.jpeg)

ENGINEER

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## **PLAN REFERENCE MATERIALS:**

I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING,

- **BUT NOT LIMITED TO:**  SURVEY PREPARED BY PARKER ENGINEERING & SURVEYING P.C. ZONING LEGEND: DATED 09/18/2023
- **ARCHITECTURAL PLANS PREPARED BY TAYLOR ARCHITECTURE &** DESIGN DATED 02/05/2024
- VILLA MARIA SITE REDEVELOPMENT PLAN PREPARED BY PHILLIPS PREISS GRYGIEL LEHENY HUGHES LLC DATED 6/2023
- GEOTECHNICAL REPORT PREPARED BY JOHNSON SOILS COMPANY DATED 10/17/2023 AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, RETRIEVED
- 06/05/2022 KEY MAP FROM USGS QUADRANGLE MAP 7.5 MINUTE SERIES.
- CHATHAM, NJ & PLAINFIELD, NJ DATED 2023. TAX MAP, SHEET 21, 28, 29, 30, 46 OBTAINED FROM BOROUGH OF
- NORTH PLAINFIELD, NJ TAX MAPS, DATED 06/20/2007 TAX MAP, SHEET 29 OBTAINED FROM TOWNSHIP OF GREEN
- BROOK, NJ TAX MAPS, DATED NOVEMBER 2019 ZONING MAP OBTAINED FROM BOROUGH OF NORTH PLAINFIELD **ZONING MAP, DATED 01/10/2012**
- 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

## **BOROUGH OF NORTH PLAINFIELD:**

(R-2) RESIDENTIAL ZONE TWO
(R-3) RESIDENTIAL ZONE THREE
(B-2A) BUSINESS ZONE TWO A
(B-2) BUSINESS ZONE TWO
(B-3) BUSINESS ZONE THREE
(B-6) BUSINESS ZONE SIX

## **TOWNSHIP OF GREEN BROOK:**

![](_page_0_Figure_37.jpeg)

![](_page_0_Picture_38.jpeg)

![](_page_1_Figure_0.jpeg)

![](_page_1_Figure_1.jpeg)

N 51°19'15" W

643.20'

![](_page_1_Figure_4.jpeg)

DRAWING:

**C-2** 

![](_page_1_Figure_5.jpeg)

SURVEY NOTES:

SYMBOL

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 $\bowtie$ 

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—— G -

TREE

GAS LINE

MANHOLE

THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

GRAPHIC SCALE IN FEET I" = 30'

![](_page_2_Figure_0.jpeg)

LAND USE AND ZONING			
	BLOCK 110, LOTS 2	.02 - 2.13	
	VILLA MARIA REDEVELO	PMENT PLAN	
PROPOSED USE			
MULTIFAMILY DEVELOMENT	PERMITTED USE		
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	9,000 SF ( 0.21 AC)	90,048 SF (2.067 AC)	90,048 SF (2.067 AC)
MINIMUM LOT WIDTH	65 FT	140 FT	643.2 FT
MAXIMUM BUILDING HEIGHT	35 FT / 2.5 STORIES(*)(^)	0 FT	BUILDING 1: 30.9 FT / 2 STORIES BUILDING 2: 30.7 FT / 2 STORIES BUILDING 3: 32.0 FT / 2 STORIES BUILDING 4: 31.6 FT / 2 STORIES BUILDING 5: 31.6 FT / 2 STORIES BUILDING 6: 34.2 FT / 2 STORIES BUILDING 7: 34.3 FT / 2 STORIES BUILDING 8: 31.2 FT / 2 STORIES
MINIMUM FRONT YARD SETBACK	20 FT	N/A	BUILDING: 20.0 FT(**)
MINIMUM REAR YARD SETBACK	25 FT	N/A	BUILDING: 68.9 FT
MINIMUM SIDE YARD SETBACK	10 FT	N/A	BUILDING: 33.6 FT
MAXIMUM BUILDING COVERAGE	40% (36,019 SF)	0% (0 SF)	22.0% (19,844 SF)
MAXIMUM DWELLING UNITS	32 DU	N/A	32 DU
MINIMUM AFFORDABLE DWELLING UNITS	I3 DU	N/A	I3 DU
MAXIMUM IMPERVIOUS COVERAGE	75% (67,536 SF)	1.3% (1,184 SF)	66.6% (59,996 SF)

OFF-STREET PARKING REQUIREMENTS		
ODE SECTION	REQUIRED	PROPOSED
§ RSIS 5:21-4.14.G.4	TWO FAMILY (DUPLEX) REQUIRED PARKING SPACES: ONE BEDROOM: 1.8 SPACES REQUIRED (11 ONE BEDROOM UNITS)(1.8 SPACES) = 19.8 SPACES	
	TWO BEDROOM: 2.0 SPACES REQUIRED (18 TWO BEDROOM UNITS)(2.0 SPACES) = 36 SPACES	58 SPACES
	(3 THREE BEDROOM UNITS)(2.1 SPACES) = 6.3 SPACES	(EV BONUS)
	TOTAL: 19.8 SPACES + 36 SPACES + 6.3 SPACES = 62.1 SPACES = 62 SPACES	TOTAL: 62 SPACES
SENATE BILL S3223	MINIMUM REQUIRED EV MAKE-READY SPACES: 15% OF PROPOSED OFF-STREET PARKING. 58 SPACES X 0.15 = 8.7 = 9 TOTAL EV MAKE-READY SPACES	9 EV MAKE-READY SPACES
	MINIMUM REQUIRED ACCESSIBLE MAKE-READY EV SPACES: 5% OF TOTAL MAKE-READY SPACES. (9 MAKE-READY SPACES)(0.05) = 0.5 = 1 ACCESSIBLE MAKE-READY SPACE	I ACCESSIBLE MAKE READY SPACES
	ADJUSTED PARKING SUPPLY CREDIT: MAXIMUM CREDIT OF 10% OF THE PARKING REQUIREMENT SHALL BE COUNTED TOWARDS TOTAL PARKING COUNT (62 SPACES)(0.1) = 6.2 SPACES	4 SPACES
§ 22-117.4.D	DRIVEWAY WIDTH: MINIMUM: 8 FT MAXIMUM: 18 FT	18 FT
§ 22-117.5.L	PARKING SPACE DIMENSION REQUIREMENTS: MINIMUM LENGTH = 18 FT MINIMUM WIDTH = 9 FT	18 FT 9 FT
§ 22-117.5.J	MINIMUM DRIVE AISLE WIDTH: (90 DEGREE): 24 FT	24 FT
§ VILLA MARIA REDEV PLAN 4.C.I.B	ACCESS POINT REQUIREMENTS: MAXMUM: 2 FROM GROVE STREET	ONE ACCESS POINTS
§ VILLA MARIA REDEV PLAN 4.C.I.B	LOCATION FOR PARKING AREAS: REAR YARD	REAR YARD

POINT OF THE ROOF BEAMS, ADJACENT TO THE STREET WALL, AND IN THE CASE OF PITCHED ROOFS, FROM THE CURB LEVEL TO THE AVERAGEHEIGHT OF THE GRADE (\*\*) PER §22-115.22.A, THE PROJECTION OF STAIRS AND PORCHES ARE PERMITTED IN THE FRONT YARD AS LONG AS THE PORCH IS ONE STORY IN HEIGHT AND NOT PROJECTING GREATER THAN FIVE FEET PER § VILLA MARIA REDEV PLAN 4.B. I A - A MAXIMUM OF THREE STORIES SHALL BE PERMITTED WHERE THE THIRD (^)

PER §22-3 - VERTICAL DISTANCE MEASURED, IN THE CASE OF FLAT ROOFS, FROM THE CURB LEVEL TO THE HIGHEST

STORY IS UTILIZED FOR THE SECOND STORY OF A DWELLING UNIT THAT IS CONNECTED BY A STAIRWAY IN THE INTERIOR OF THE UNIT (I.E. A DUPLEX APARTMENT) N/A NOT-APPLICABLE

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 22-119.5.A	MAXIMUM AMOUNT OF FREESTANDING/WALL SIGN (WHICHEVER IS LESS SF): I SIGN	I SIGN
§ 22-79.A	APPROPRIATE STREET SIGNS: LOCATION: ALL STREET INTERSECTIONS	4 SIGNS
§ 22-119.3.F	WALL SIGN LIMITS: EXTENSION: MUST BE BELOW ROOF AND PARAPET WALL LIMITS PROJECTION MAXIMUM: 8 INCHES	COMPLIES 8 INCHES
§ 22-119.5.C	WALL SIGN REQUIREMENTS: MAXIMUM SURFACE AREA: I SF FOR EACH FOOT OF WALL LENGTH OR 150 SF ONE DIMENSION OF THE SIGN, HORIZONTAL OR VERTICAL, SHALL EXCEED 2 FT	30 SF 2.1 FT
§ 22-119.5.B	FREESTANDING SIGN REQUIREMENTS: MAXIMUM SURFACE AREA: 12 SF MINIMUM SETBACK: 10 FT FROM PROPERTY LINE MAXIMUM FREESTANDING SIGN HEIGHT: 42 IN	12 SF 10 FT 24 INCHES

ACCESSORY STRUCTURE STANDARDS		
CODE SECTION	REQUIRED	PROPOSED
§ 22-115.3	MAXIMUM HEIGHT: 16 FT	COMPLIES
	MINIMUM ACCESSORY STRUCTURE SETBACKS: FRONT: 20 FT SIDE: 10 FT	87.0 FT 12.5 FT
	MINIMUM SETBACK FOR ACCESSORY STRUCTURE LOCATED IN REAR YARD: REAR PROPERTY LINE: 4 FT SIDE PROPERTY LINE: 4 FT	8.8 FT 12.5 FT
	MINIMUM DISTANCE FROM PRINCIPAL BUILDING: 20 FT	21.1 FT
	MAXIMUM AREA OCCUPANCY OF REAR YARD: 30%	0.5% (222 SF)
	CANNOT BE USED AS DWELLING	COMPLIES

	FENCING STANDARDS		
CODE SECTION	REQUIRED	PROPOSED	
§ 25-3	FENCING LIMITATIONS: CANNOT ENCROACH ON PUBLIC RIGHT OF WAY OR WATERCOURSE	COMPLIES	
	GATE SWING: MUST SWING INTO INTERIOR OF PROPERTY	COMPLIES	
§ 25-4.1	FENCING HEIGHTS ABOVE ADJACENT GROUND ELEVATION: PARALLEL TO FRONT OF PROPERTY LINE MAXIMUM: 3 FT PARALLEL TO SIDE, FROM FRONT PROPERTY LINE TO FRONT YARD SETBACK: 4 FT PARALLEL TO SIDE, FROM FRONT YARD SETBACK TO REAR PROPERTY LINE: 6 FT PARALLEL TO REAR OF PROPERTY LINE MAXIMUM: 6 FT	8.0 FT (W) 9.0 FT (W) 14.5 FT (W) 14.0 FT (W)	

TBD TO BE DETERMINED

(\*)

![](_page_3_Figure_8.jpeg)

	DESIGN STANDARDS		
CODE SECTION	REQUIRED	PRC	
§ 22-79.B	CONCRETE SIDEWALK REQUIREMENTS: WIDTH: 4 FT MINIMUM SETBACK FROM ROADWAY: 3 FT	5.0	
§ 22-79.K	SHADE TREE REQUIREMENTS: MINIMUM: 2 TREES PER LOT MINIMUM DIAMETER: 2 INCHES MINIMUM HEIGHT: 8 FT	2 T CC CC	
§ VILLA MARIA REDEV PLAN 4.B.2.A	MULTIPLE BUILDINGS ON SINGLE LOT: MULTIPLE BUILDINGS / DWELLING TYPES ARE PERMITTED ON A SINGLE LOT	сс	
§ VILLA MARIA REDEV PLAN 4.B.2.B	MINIMUM BUILDING SEPARATION DISTANCE: 10 FT	12.0	
§ VILLA MARIA REDEV PLAN 4.C.2.A	MULTIFAMILY BUILDING APPEARANCE: COMPATIBLE WITH ONE OR TWO-FAMILY HOME	СС	
§ VILLA MARIA REDEV PLAN 4.C.2.B	MULTIFAMILY DWELLING BUILDING SEPARATION*: SIDE BY SIDE, STACKED OR BOTH	СС	
(*) BUILDING MUST	COMPLY WITH BULK STANDARDS		

REFUSE/RECYCLING REQUIREMENTS		
CODE SECTION	REQUIRED	F
§ 22-82.5	RECYCLING CONTAINER DESIGN: MUST BE COVERED AS TO PROTECT MATERIALS AGAINST ADVERSE ENVIRONMENTAL CONDITIONS	
§ 22-82.6	RECYCLING SIGNAGE: SIGNS REQUIRED AT ACCESS POINTS TO THE RECYCLING AREA TO IDENTIFY THE RESPECTIVE MATERIALS ACCEPTED THEREIN	
§ 22-82.7	RECYCLING SCREENING: APPROPRIATE LANDSCAPING AND/OR FENCING MUST FORM AROUND RECYCLING AREA	
§ 22-115.30	REFUSE SCREENING:         APPROPRIATE FENCING IS REQUIRED ALONG ALL SIDES OF OUTDOOR STORAGE OF SOLID         WASTE/GARBAGE CONTAINERS         REFUSE SECURITY:         REFUSE MUST BE SECURED FROM GROUND ENTRY VIA DOOR OR GATE	

TBD TO BE DETERMINED

![](_page_3_Figure_13.jpeg)

NOT APPROVE	≤	7070 I 03/18/2024 EGB FOR MUNICIPAL SUBMISSION ISSUE DATE BY DESCRIPTION	
<b>STONEFIE</b> engineering & design	Rutherford, NJ • New York, NY • Boston, M. Princeton, NJ • Tampa, FL • Detroit, MI www.stonefieldeng.com	Headquarters: 92 Park Avenue, Rutherford, NJ 0 Phone 201.340.4468 · Fax 201.340.4472	
PRELIMINARY & FINAL MAJOR SITE PLAN VILLANI REALTY GROUP	PROPOSED RESIDENTIAL DEVELOPMENT	BLOCK 110, LOT 2.02 TO 2.13 430 GROVE STREET BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY	
JOSHUA H. KLINE, P.E. NEW JERSEY LICENSE No. 54347 LICENSED PROFESSIONAL ENGINEER			
SCALE: I" = 30' PROJECT ID: PRI-230101 TITLE:			
SCALE: I" =	ronering & desi	gn PRI-230101	

## **GENERAL NOTES**

LIMIT OF PROPOSED

- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN,
- 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION. 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE. 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP
- DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET. 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN
- ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE
- GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS. 11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED
- SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES. 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES
- NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

GRAPHIC SCALE IN FEET I" = 30'

![](_page_4_Picture_0.jpeg)

![](_page_4_Figure_10.jpeg)

STREET

SYMBOL	DESCRIPTION
	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
RIDGELINE	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOV
<b>X</b> G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
<b>x</b> FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
<b>X</b> DC 100.12 BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

**GRADING NOTES** 

- I. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE. 2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR
- PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS. 3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7
- INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- 4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY ALITHORITY RECLILATIONS 5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:

 CURB GUTTER: 0.50% CONCRETE SURFACES: 1.00%

- ASPHALT SURFACES: 1.00% 6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. 7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL
- CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

## **ADA NOTES**

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- 2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES. 3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. 5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING
- SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- 6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP. 7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE
- ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS. 8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN I UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- 9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

![](_page_4_Figure_36.jpeg)

![](_page_4_Figure_37.jpeg)

![](_page_5_Figure_0.jpeg)

![](_page_5_Figure_2.jpeg)

- I. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING. 2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT
- THE LOWEST INVERT AND WORK UP-GRADIENT. 3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN
- SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING. 4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

**EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES** 

- I. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION, THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET. 2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS
- BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD. 3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR
- ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS. 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES

- I. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- 2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%. 3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS
- PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.

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	STONEFIEL D	engineering & design		Buthorford NII . Now York NY . Botton MA	Deincrettor VII - Tempo EI - Doscoli, The			02020 IIN Production Of Brid Annual Control Control Control	Phone 201.340.4468 · Fax 201.340.4472
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DRAINAGE AND UTILITY NOTES

- I. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
- 2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED. 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF
- THE PROPOSED WORK DURING CONSTRUCTION. 4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE
- AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC. 5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC. 6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO
- CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY. 8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY
- SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT. 9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- 10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

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UTILITY PLAN

**C-7** 

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	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.2	<sup>†</sup> 0.2	<sup>†</sup> 0.3	<sup>†</sup> 0.4	Ō.4	<u>04</u>	<u>.</u>	<sup>†</sup> 0.0	<u>04</u>		0.7	<u>X0.4</u>	0.2	0.2	<u>0</u> 3	0.3	- 0 <u>.6</u> -	<u>0</u> 7		0.2	- SA <u>- 5</u>	0.2	<sup>†</sup> 0.3	۸۵ – مف	0.7	. to	5AN	0.2	0.2	0.4	÷
	<sup>†</sup> 0.1	<sup>†</sup> 0.1	0. I⊖⊦	- CD-	0.2 C	<u>⊃⊢</u> 0.3_	0.3	<u>- (Ø)-</u>	0.2	_0qH	<u>0.1</u>	<u>0.2</u>	H <sup>†</sup> 0:2	0.1		<u>-81</u>	<u>8</u> L	<u> </u>	0.2	0.2	0.1	<u></u>	0.1	<u>del</u>	0.2	<u> </u>	<u>0.2</u>	<u>5<sup>0.2</sup>01</u>	<u>⊢ 0.⊥</u>	<u>0.1</u>		0.1	
	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.2	<sup>*</sup> 0.2	<sup>†</sup> 0.2	G 0.2	<sup>†</sup> 0.2	G 0.2	<sup>†</sup> 0.1	G 	0.I	0.I	je i C	<sup>†</sup> 0.1	— G 0.I	<sup>†</sup> 0.1	— G 0.I	<sup>†</sup> 0.1	—, G 0.I	Ş	G 0.1	<sup>†</sup> 0.1	G - 0.1	<sup>†</sup> 0.1	- G 0.1	<sup>†</sup> 0.1	G Q	 0.1	0.I	<sup>†</sup> 0.1	G, 0.1	+
	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0. I	<sup>†</sup> 0. I	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.1	౮0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0 (	0.0 <sub>و</sub>	<sup>†</sup> 0.0	<sup>†</sup> 0 0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	0.0	<sup>0.0</sup>	ا ی 0.0	<sup>†</sup> 0.0	ا ⊡ 0.0	) †
=	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.1	_ <sup>†</sup> 0.⊥	^0. I	0. I	0. I	<sup>†</sup> 0.1	<sup>†</sup> 0.1	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	0.0	0.0	<u>0.</u> 0	<u>0.0</u>	S <sup>‡</sup> 0.0	0.0	<sup>†</sup> 0.0	60	<sup>†</sup> 0.0	^0.0	0.0	<u>0.</u> 0	<sup>†</sup> 0.0	0.0	1.0.Q	0.0	<sup>†</sup> 0.0	0.0	_ <sup>†</sup> 0.0	
	<sup>+</sup> 0.1	<sup>*</sup> 0.1	<sup>†</sup> 0. I	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>‡</sup> 0.1	<sup>*</sup> 0.1	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>*</sup> 0.0	<sup>≁</sup> 0.0	<sup>*</sup> 0.0	*0.0	<sup>†</sup> 0.0	0.0	*0.0	<sup>*</sup> 0.0	vy 	<sup>†</sup> 0.0	v 	<sup>†</sup> 0.0	<sup>*</sup> 0.0	<sup>*</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>*</sup> 0.0	0.0	0.0	0.0	0.0	0.0	-
	<sup>+</sup> 0.0	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>÷</sup> 0.0	<sup>÷</sup> 0.0	<sup>†</sup> 0.0	<sup>÷</sup> 0.0	<sup>÷</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>÷</sup> 0.0	<sup>÷</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>÷</sup> 0.0	<sup>+</sup> 0.0	<sup>*</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	+
	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>÷</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	, 0.0	۶R	0.0		<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	+
	<sup>+</sup> ~ ~	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	÷~ ~	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	÷~ ~	<sup>+</sup> ^ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ~	<sup>+</sup> ~ ~	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ^ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>+</sup> ~ ^	<sup>†</sup> ~ ^	<sup>+</sup> ~ ~	<sup>+</sup> ~ ~	<sup>+</sup> ~ ~	<sup>+</sup> ~ ~	+

RINCETONIPRI/2023/PRI-230101 TAYLOR ARCHITECTURE - 430 GROVE STREET, NORTH PLAINFIELD, NJ/CADD/PLOT/LDP-08-LG

![](_page_7_Picture_5.jpeg)

D (WALL PACK)

			PROPOSED LUMI	NAIRE SCHEI	DULE		
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	
	A	8	ARCHITECTURAL WALL SCONCE	FT	0.9	LITHONIA	
	В	2	ARCHITECTURAL WALL SCONCE	TYPE III	0.9	LITHONIA	
$\bigcirc$	с	16	EXCURSION CANOPY LUMINAIRE	TYPE V (WIDE)	0.9	LSI	
	D	8	ARBOR WALL SCONCE	-	0.9	COOPER LIGHTNG	

	LIGHTING REQUIREMENTS
CODE SECTION	REQUIRED
§22-79.C	STREET LIGHTING: MUST BE INSTALLED IN APPROPRIATE LOCATIONS PER APPROVING AUTHORITY
§22-115.15.E	BEAM ENCROACHMENT/GLARE: LIGHTING MUST BE DESIGNED/SHEILDED AS TO PREVENT BEAM ENCROACHMENT AND GLARE ONTO DWELLINGS OF ROADWAYS
§ 22-138.2.1	SITE LIGHTING: STYLE: MUST BE COMPATIBLE WITH BUILDING STYLE PARKING LOT MINIMUM: 0.33 FOOT-CANDLES
§ VILLA MARIA REDEV PLAN 8.C	GLARE: MUST NOT PRODUCE GLARE TO THE PUBLIC

0.1	<sup>†</sup> 0.1	<sup>*</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>*</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>⁺</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0
<sup>†</sup> 0. I	<sup>†</sup> 0.1	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>÷</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>÷</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>÷</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>•</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0
<sup>†</sup> 0.1	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0
<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>*</sup> 0.0	<sup>*</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>*</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>*</sup> 0.0	<sup>+</sup> 0.0	<sup>*</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>*</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>+</sup> 0.0	<sup>*</sup> 0.0	<sup>*</sup> 0.0	<sup>†</sup> 0.0
0.0	<sup>†</sup> 0_0_	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0_0_	<u>0.0</u>	<sup>†</sup> 0.0	<u>^0_0</u>	<u>00</u>	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<u>†0.0</u>	.0.	<sup>†</sup> 0_0	<sup>†</sup> 0.0	<sup>‡</sup> 0.0	<sup>†</sup> 0_0_	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0_0_	<u>0.0</u>	<sup>†</sup> 0.0	<u>0.0</u>	<u>.</u>	<sup>†</sup> 0.0	<u>0.0</u>	<u>0.0</u>	<sup>‡</sup> 0.0	<sup>†</sup> 0_0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0_0_	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0_0_	<u>00</u>	<sup>†</sup> 0.0	<sup>†</sup> 0.0
8	000	<u></u>	0.0	- Ø0	0.00	<del>, 0.0 {</del>	3 <del>0.0</del> c	<mark>. Ф. С</mark>	<u>, 0.0</u>	<del></del>	) <u>0.0</u>	0.0	- 995	<u>.</u> 80	0.0	0	- - - 	-8-80	<del></del>	20.0	o <sup>0,0</sup>		ہ <del>5 0.0 </del> 2	} <sup>0.0</sup> a	Q.0 o	0.0 <sub>0</sub>	0.0 <sub>0</sub> 0	<sup>0.0</sup>	0 <u>.8</u>		- - -	- 0-0-	ogo A	80	<sup>†</sup> 0.0	<sup>⁺</sup> 0.0	<sup>†</sup> 0.0
0.7	0.7	0.7	0.7	0.7	0.7	0.7	<b>0.7</b>	<b>0</b> .7	0.7	0.7	□ <sub>+</sub> □ □ □ □ <b>0.7</b> □	0.7	0.7	□ <sub>+</sub> □ □ □ 0.7 □	0.7	<sup>†</sup> 0.7□	0.7	0.7	0.7		0.7	0.7	0.7	□, □ □ □ <b>0.7</b> □	<b>0.6</b>	0,6	0.6	0.6	0,6	0.5	0.4	0.4	<sup>†</sup> 0.3	<sup>+</sup> 0.3	- Maria	<sup>†</sup> 0.3	<sup>†</sup> 0.0
i.0	<b>0</b> .	0.9	0.9	0.9	0.9	<b>i</b> .0	1.0			0.9	0.9	0.9	0.9	□i.0 □	<b>1.0</b>	1.0	0 <b>.9</b>	0.9	0.9	0.9	1.0	1.0		0.9	0.9	0.9	0.9	0.8	<sup>†</sup> 0.8	0.7	<sup>†</sup> 0.6	<sup>†</sup> 0.5	<sup>†</sup> 0.4	0.4	0.4		<sup>†</sup> 0.0
.4	1.4	4.3	i. <b>4</b> °	12	<b>,</b>   3 <b>-</b> 9-		4.4					1.2	1.3			1.4°		4.2	1.2	□ □ □ <u>  .3</u> □	4.4	1.4	• <u>.4</u>		4.2			1.3			0.9	0.7	0.6	<sup>†</sup> 0.5	<sup>†</sup> 0.6	2 1 1 1 1 1 1 1	<sup>†</sup> 0.0
2.2			^⊒ <b>0</b> ∎ 1.6 ⊡				• •		● ■ 49	^ <b>]</b>   <b>⊳</b> 7			]		220	1.9 œ		4	7		₽ □ 2.b	2.2	]• <b>2</b> ;0					2.0		1.80	İ.3	1.0	<sup>†</sup> 0.8	p <sup>i</sup> o.	-top	†d.60	<sup>†</sup> 0.0
2.6	2.4	2.0	t.K		2.0		>25	2.5	2.1	18	1.7	19	21	24	2.5	22	18	17	1.9	1 <u>2</u> .	2.4	26	2.3	1.9	7	1.8	- <u>7</u> .0.	2.3	2.5	22	1.6		<sup>†</sup> 0.9	io.7	‡d.8	<sup>†</sup> d. To	<sup>†</sup> 0.0
		1.2 E	E/T/C	<sup>0.9</sup>		/T/d-			T/Ç—	- G 1.0	-, E/T				$G_{\underline{4}}$	13	E/T/0		1.2 D (8'				/T/C-	1.1	0.9 E/	/T;/C-			G G	13	1.0	07	G 0.6		0.8	ţ.	<sup>†</sup> 0.0
	•)	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	0.5		- (24)	,				0.4	0_5		24) 		<sup>†</sup> 0.0	<sup>†</sup> 0.0	D (8	т <mark>о</mark> ,с		(24)		<sup>†</sup> 0.0	<sup>÷</sup> 0.0	<sup>†</sup> 0.3	þ.7			,	<sup>†</sup> 0.0	<sup>†</sup> 0.0		<b>0</b> .0		¢,p	<sup>†</sup> 0.0
I	ŗ,				0.9			1		, , ,		0.9							Ļ		2	ļ		4				2			-			00.0 m	i.2	1.0 <b>°</b>	<sup>†</sup> 0.0
					2.2		0')		•••			<sup>†</sup> 2.0	196							Ā							Г <sub>А</sub> с					Ц.	]	0.0 -	1.1	₽,0	<sup>†</sup> 0.0
)					2.6					- 		<sup>†</sup> 2.3	<b>C</b>	(10')	ļ					<b>o</b> C	(10')	ſ						(10')	)		h			0.0	<sup>†</sup> 0.7	, ¢.7	<sup>†</sup> 0.0
נו בייוו ביים					1.5				┉		_ 	<b>j</b> i., <b>j</b>		C (				<u> </u>				<u>(10'</u> )শ ত					<b>5</b>	C	(10')			_			ഹ 0.5	0 10,5	<sup>†</sup> 0.0
	2.4	1.4	<sup>†</sup> 0.4	° 0.2	0.6			21	1.3	<sup>†</sup> 0.4	0.2	Ū.4	<sup>†</sup> 0.7	(		.0	0.8	<sup>†</sup> 0.3	<sup>†</sup> 0.4	0.6	<sup>†</sup> 0.7				2 (8')	e ouz								1. F	<sup>†</sup> 0.4		<sup>†</sup> 0.0
0.5	0.7			S	– AN دف		— SA		0.5	- SA	N	0.2	SAI	N	0.7	SAN	i   20.3	<u>0.2</u>	SAN	<u> </u>	S	SAN oz		S/		<u></u>	SA 0.0	N —		- SAI		<u>_</u>			6	· · · · · · · · · · · · · · · · · · ·	-0-0
<b>0</b> Pl				- @			í Cín-b		L							· [		0.1	- 									- -	0.0			E/L/C					 †∩ 2
<u> </u>	G,	G			0.1	G	10.1	G	-	G	0.164	G -	<u>† 1</u>	- ,G -	to	GH		<u>но"-</u>	<u>•</u>	<u></u>	<u>⊢o.</u>	<u>, 10.2</u>			<u>р</u>	<u>†</u> 0.0	<u>†00</u>	to o		0.0	1.0-	<u>6</u>	20 -			<u>-1-OF</u>	h.a
τ. ο	°.1			0.1	°.1	°.1	± 10.1	°.1	0.= 		°.1	°.1	°.1	°.1	÷	0.1		°.1	÷	± 10.1	°.1	°.1	0.1	5	0.0 ⁺o.o	0.0 <sup>†</sup> 0.0	°.0	<sup>†</sup> 0.0	0.0 <sup>†</sup> 0.0	0.0 ⁺o.o				0.0 <sup>†</sup> 0.0	0.   <u>%</u>	<u>, 0,2</u>	<u>1</u>
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PROPOSED | DEVELOPME

JOSHUA H. KLINE, P.E.

NEW JERSEY LICENSE No. 54347

LICENSED PROFESSIONAL ENGINEER

LIGHTING PLAN

**C-8** 

engineering & design

I" = 30' PROJECT ID: PRI-230101

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**GENERAL LIGHTING NOTES** 

- I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER
- VARIABLE FIELD CONDITIONS.
  2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- 3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  LIGHT EMITTING DIODES (LED): 0.90
  HIGH PRESSURE SODIUM: 0.72
  METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
   THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

30' 0' 30' 60' GRAPHIC SCALE IN FEET |" = 30'

![](_page_8_Picture_0.jpeg)

## DUST CONTROL NOTES

- MULCHES SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1 VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. I, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND
- PERMANENT STABILIZATION WITH SOD, PG. 6-1 SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- TILLAGE TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT
- SPRINKLING SITE IS SPRINKLED UNTIL THE SURFACE IS WET. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT
- WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

## STABILIZATION SPECIFICATIONS:

- I.A. TEMPORARY SEEDING AND MULCHING: GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
- FERTILIZER APPLY IILBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH I AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER I.
- MULCH UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER). PERMANENT SEEDING AND MULCHING: L.B. TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
- GROUND LIMESTONE APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY II LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./I,000 SF) OR OTHER
- APPROVED SEEDS; PLANT BETWEEN MARCH I AND OCTOBER I (SUMMER SEEDINGS REQUIRE IRRIGATION MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS/I,000 SF APPLIED TO ACHIEVE
- 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

![](_page_8_Picture_16.jpeg)

- I. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT
- CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. 2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN
- COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- 3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN I INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

![](_page_8_Figure_23.jpeg)

SOMERSET-UNION SOIL CONSERVATION DISTRICT SOIL EROSION AND EDIMENT CONTROL NOTES

- I. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. 2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A
- TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NI STATE STANDARDS. 3. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR
- PROTECTION UNTIL SEEDING IS ESTABLISHED 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NI STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST
- REVISED JANUARY 2014. 5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR
- PRELIMINARY GRADING. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAT 8. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6"PAD
- OF I 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- 10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5
- INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. IN THAT NISA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- 12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL. 13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE- CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL standards.
- 14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP. 15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR
- SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT. HYDRO SEEDING IS A TWO- STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO- MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO- MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

![](_page_8_Figure_38.jpeg)

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<b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b>					PROPOSED RESIDENTIAL	DEVELODMENT			BLOCK 110, LOT 2.02 TO 2.13	BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY
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![](_page_9_Figure_0.jpeg)

![](_page_9_Picture_1.jpeg)

![](_page_9_Figure_3.jpeg)

![](_page_9_Figure_4.jpeg)

![](_page_10_Figure_0.jpeg)

![](_page_10_Figure_1.jpeg)

MON NAME	SIZE	CONTAINER
TUPELO	2.5" - 3" CAL	B&B
N REDCEDAR	5` - 6` HT	B&B
ATHER™ EASTERN DCEDAR	5` - 6` HT	B&B
NICLE HYDRANGEA	18" - 24"	РОТ
e japanese holly	18" - 24"	РОТ
CT INKBERRY	18" - 24"	РОТ

POT

## SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC, FOR TAYLOR ARCHITECTURE DATED: 09/24/2020

![](_page_10_Picture_6.jpeg)

## **IRRIGATION NOTE:**

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

## LANDSCAPING NOTES

- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS
- INDICATED OTHERWISE WITHIN THE PLAN SET. 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS
- WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED. 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM
- 3 INCH LAYER OF MULCH . 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION
- AREAS SHALL BE 3 FEET HORIZONTAL TO I FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO
- CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE. 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED
- LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

GRAPHIC SCALE IN FEET l" = 30'

NOT APPROVED FOR CONSTRUCTION Ш 201. Δ Ō **S** Engin テ GROU ש SITE  $\succ$ MAJOR F A Ζ ш ELD RE RESI BLOCK 110, LOT 2.02 TO 2.13 430 GROVE STREET BOROUGH OF NORTH PLAINF SOMERSET COUNTY, NEW JER Ż **AN** PROPOSED | DEVELOPME AR LIMIN **VILL** JOSHUA H. KLINE, P.E. NEW JERSEY LICENSE No. 54347 LICENSED PROFESSIONAL ENGINEER engineering & design ... I" = 30' PROJECT ID: PRI-230101 SCALE: TITLE: LANDSCAPING PLAN DRAWING: **C-11** 

AREA TO BE LAWN

![](_page_11_Figure_0.jpeg)

I. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF 2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER

• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY • MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY

## GENERAL LANDSCAPING NOTES

- SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND
- INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY. . WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL. 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE
- SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED 4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND
- SEED VERIFYING TYPE AND PURITY. 5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE
- DESIGNER. OR GOVERNING MUNICIPAL OFFICIAL. 6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE
- WORK SHALL BE PERFORMED AS FOLLOWS: • TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN THE TREE ROOTS SHALL NOT BE CUT BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO
- THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REOUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
- LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED. SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION. NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS
- 2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS
- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT
- 5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE. . CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD
- OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
- INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN. 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE
- OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE
- INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER II. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND
- ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF 12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- 13. Soil shall be loosened with a backhoe or other large coarse-tiling eoupment unless the soil is frozen or EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE. 14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN
- PRODUCT AND PLANT MATERIAL 15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA. TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING. AND SELECTED ORGANIC MICROBIAL NUTRIENTS

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
- MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL. WHICH REOUIRE ERICOID MYCORRHIZAE. • SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS
- IN A PH RANGE OF 3 TO 9. • FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION
- OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.
- HEALTHY START MACRO TABS 12-8-8
- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS. • TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD. AROUND ITS PERIMETER. AT A DEPTH OF ABOUT 4 INCHES.

	IRRIGATION DURING ESTABLISHMENT												
SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL											
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS											
2"-4 CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS											
4 >" CALIPER	4 >" CALIPER DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED TWICE WEEKLY FOR FOUR TO FIVE												

I. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY

2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

THEN BACKFILL. STAKES SHALL KEEP TREE VERTICAL AND PLUMB. SECURE STAKES TO TREE USING 2 ARBORTIES. SET TOP OF TRUE ROOT BALL I TO 2" ABOVE FINISHED GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS. FORM FARTH WATERING SAUCER AROUND TREE AT EDGE OF ROOT BALL. MAXIMUM 3" OF SHREDDED BARK MULCH. DO NOT PLACE MULCH WITHIN 6" OF TREE TRUNK. SOIL TO BE PREPARED PER TABLE PRIOR TO PLANTING TREE. 4" TO 6" DEEPER THAN ROOT BALL SET ROOT BALL ON UNDISTURBED SOIL PAD IN BOTTOM OF HOLE. TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL CONIFEROUS TREE PLANTING DETAIL NOT TO SCALE NOTES: I. FOR THE CONTAINER-GROWN SHRUBS. USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR USE FINGERS OR SMALL PULL APART ANY ROOTS CIRCLING THE HAND TOOL TO PULL PERIMETER OF THE CONTAINER. ROOTS OUT OF BALL. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SOIL TO BE PREPARED PER SEVERAL TIMES DURING THE FIRST TABLE PRIOR TO PLANTING MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS • MODIEY HEAVY CLAY OR SILT SOILS  $V_{I}$ (MORE THAN 40% CLAY OR SILT) BY TO 30% BY VOLUME) OR GYPSUM LAWN OR PAVING (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL SUBGRADE

> ARBOR TIE STAKE GROWING SEASON.

> > OF TREES LARGER THAN 6" SOURCES INCLUDE:

CSP OUTDOORS 1-800-592-6940 or CSPOUTDOORS.COM

**ARBORTIE DETAIL** 

NOT TO SCALE

- WITH I" GALVANIZED ROOFING NAIL OR USE A KNOT
- GEMPLERS I-800-332-6744 or GEMPLERS.COM

- INSTALLATION GUIDELINES:

- LOOP TIE AROUND TREE AND NAIL TO CEDAR REMOVE ALL STAKING AND TIES AT END OF FIRST FOLD ENDS OF ARBORTIE BACK. SECURE TO STAKES
- CONSULT LANDSCAPE ARCHITECT FOR STAKING

5

INSTALL (2) 3" dia. 8' LONG CEDAR

POST IN TO UNDISTURBED SOIL.

ADDING COMPOSTED PINE BARK (UP

MODIFY EXTREMELY SANDY SOILS

### PLANT QUALITY AND HANDLING NOTES

I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER

> COMMON NAMES 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND. HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE 4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR

> FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REIECTED 5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY

> TAGGED WITH THE PROPER NAME AND SIZE. 6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.

> 7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.

8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INIURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT. OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST. FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE. 9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

DETAILS. 10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN possible. The root ball shall be kept moist at all time and covered with moistened mulch or aged WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS HALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.

II. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL. 12. PLANTS WITH INIURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS, ONLY DISEASED OR INIURED PLANTS SHALL BE REMOVED. 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO

RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY

15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:

PLANTS (MARCH 15 - DECEMBER 15) LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1

16. THE

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FOLLOWING TREES ARE SU	SCEPTIBLE TO TRANSPLAN	t shock and shali	l not be plan	TED DURING	THE FALL	SEASON
RTING SEPTEMBER 15):						
CONCOLOR	CORNUS VARIETIES	OSTRYA VIRG	GINIANA			

ABIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
ACER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
ACER FREEMANII	CUPRESSOCYPARIS LEYLANDII	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
BETULA VARIETIES	ILEX X FOSTERII	PYRUS VARIETIES
CARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CEDRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
CELTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
CERCIDIPHYLLUM VARIETIES	KOELREUTERIA PANICULATA	TAXODIUM VARIETIES
CERCIS CANADENSIS	LIQUIDAMBAR VARIETIES	TAXUX B REPANDENS
CORNUS VARIETIES	LIRIODENDRON VARIETIES	TILIA TOMENTOSA VARIETIES
CRATAEGUS VARIETIES	MALUS IN LEAF	ULMUS PARVIFOLIA VARIETIES

S PARVIFOLIA VARIETIES ZELKOVA VARIETIES 17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.

18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.

19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.

20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED. 21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR other means. Repairing and reshaping water rings or saucers, maintaining stakes and guys if originali REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.

2. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING Shall be performed only when grass is dry. Mower blade shall be set to remove no more than one third (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.

23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING

24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED. 25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY

MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER. 26. THE OUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND

## PLANT MATERIAL GUARANTEE NOTES

ESTABLISHMENT.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (I YR.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE

.. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.

4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

### LAWN (SEED OR SOD) NOTES:

. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS 2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND

WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."

4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION.'

5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS. EROSION. WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

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	<b>STONEFI</b> engineering & desig	Rutherford, NJ • New York, NY • Bost Princeton, NJ • Tampa, FL • Detroit www.stonefieldeng.com	Headquarters: 92 Park Avenue, Rutherford, Phone 201.340.4468 · Fax 201.340.4-				
PRELIMINARY & FINAL MAJOR SITE PLAN	VILLANI REALTY GROUP	PROPOSED RESIDENTIAL DEVELOPMENT	BLOCK 110, LOT 2.02 TO 2.13 430 GROVE STREET BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY				
Image: Strain							

C-12

![](_page_12_Figure_0.jpeg)

![](_page_13_Figure_0.jpeg)

ONIPRI/2023/PRI-230101 TAYLOR ARCHITECTURE - 430 GROVE STREET, NORTH PLAINHELD, NJ/CADDIPLOTILDP-12-14-DETL.DW

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CHAPTER 9.6

- SURROUNDING SOIL. NETWORK OF PIPES THAT COLLECT RUNOFF AND TRANSPORT IT TO THE OUTFLOW SECTION OF THE SYSTEM.
- WITHIN THE AGGREGATE LAYER, THE NETWORK OF PIPES MUST BE ABLE TO WITHSTAND THE DESIGN LOADS. THE MANIFOLD OR OTHER MECHANISMS USED TO COLLECT FLOW FROM THE PERMEABLE PAVEMENT SYSTEM MUST BE NON-PERFORATED.
- STORAGE BED. (DESIGNER NOTE: IF UNDERDRAINED, 2 FT IF INFILTRATION)
- ENDS OF THE PERFORATED SECTION OF THE NETWORK OF PIPES AND BE FLUSH WITH THE SURFACE OF THE SURFACE 3 FEET FROM ANY EDGE. THE SIZE OF THE INSPECTION PORT MUST BE LARGE ENOUGH TO ALLOW FOR MAINTENANCE
- TO VEHICULAR TRAFFIC.
- NO. 8 BROKEN STONE

![](_page_15_Figure_13.jpeg)

![](_page_15_Figure_14.jpeg)

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<text><text><text>          Name         ame         Name</text></text></text>		Cetalog Number	Excursion LED         ORDERING GUIDE         TYPICAL ORDER EXAMPLE:         EXN       D         EGLED       8L         T5W       UNV	D Parking Garage/Canopy Luminaire Back to Quick Line M 40 70CRI ALSCS MSV
Instrument         Descent to the set of the se		Hit the Tab key or mouse over the page to see all interactive elements. Introduction The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional	Family     Mounting     LED Technology     Lumen Package     Distribut       EXN - Excursion Parking Garage /Canopy Luminaire     D - Direct Mount P - Pendant Mount, 5ft Cord     EGLED - Edge- Lit LED     31 - 3000 lms     T5W - Type V Wide       BL - 8000 lms     5L - 5000 lms     5L - 6000 lms     Uplight       PL - Pendant Mount, 7ft Cord <sup>1</sup> PL - Pendant Mount, 7ft Cord <sup>1</sup> 10L - 10000 lms     Uplight       10L - 10000 lms     TSNU - Type V Wide     TSNU - Type V Wide       11L - 11000 lms     TSNU - Type V Narrow	ution         Voltage         Dimming         Color Temperature           UNV - Universal Electronic (120V-277V)         DIM - Dim to 10% (0-10V)         50 - 5000K           HV - High Voltage (347V- 480V)         DIM - Dim to 10% (0-10V)         50 - 3000K           Uplight (5% up)2         w Uplight (5% up)2         DIM - Dim to 10% (0-10V)
Service Leb P3 40X XCRI R3 MVXLT SRM DDEXH          Dex       Description <thdes< th=""><th></th><th>Controls, the WDGE family provides additional energy savings and code compliance.       WDGE4 has been designed to deliver up to 25,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.       Lumens (4000K)       P3     P4     P5     P6       00          00     3,000     4,500     6,000        00     10,000     12,000         00     18,000     20,000     22,000     25,000</th><th>Color Rendering         Controls           70CRI - 70 Color Rendering Index         Blank - No Controls           ALSC - Airlink Synapse Wireless Digital Controller<sup>3</sup>         ALSCS1 - Airlink Synapse Wireless Digital Controller<sup>3</sup>           ALSCS2 - Airlink Synapse Wireless Digital Controller with Sensor (mounting 8 to 12 feet)         ALSCS2 - Airlink Synapse Wireless Digital Controller with Sensor (mounting 12 to 20 feet)           ALSCS2 - Airlink Blue Wireless Motion &amp; Photo Sensor Controller (8-24' mounting heig)         ALBCS2 - AirLink Blue Wireless Motion &amp; Photo Sensor Controller (25-40' mounting height           IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor max 25-40' mounting height         IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor max 25-40' mounting height           LLC - LimeLight Integral Wireless Radio Control by Lutron         LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by L           LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by L         LLCS3 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by L</th><th>EM     Finish     Options       Blank - No Battery     BL     Blank - No Battery       BB - Battery Backup<sup>5</sup>     BLK - Black     Blank - No Option       y<sup>3</sup>     cWBB - Cold Weather Battery Backup<sup>5</sup>     BLK - Matallic Silver       MSV - Metallic Silver BRZ - Bronze     SP1 - 10kV Surge Protection       y<sup>3</sup>     s.4     t 3.4       tt 3.4     t 3.4       utron 8-15' mt height <sup>3</sup>     utron 16-30' mt height <sup>3</sup>       utron 31-40' mt height <sup>3</sup>     utron 31-40' mt height <sup>3</sup></th></thdes<>		Controls, the WDGE family provides additional energy savings and code compliance.       WDGE4 has been designed to deliver up to 25,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.       Lumens (4000K)       P3     P4     P5     P6       00          00     3,000     4,500     6,000        00     10,000     12,000         00     18,000     20,000     22,000     25,000	Color Rendering         Controls           70CRI - 70 Color Rendering Index         Blank - No Controls           ALSC - Airlink Synapse Wireless Digital Controller <sup>3</sup> ALSCS1 - Airlink Synapse Wireless Digital Controller <sup>3</sup> ALSCS2 - Airlink Synapse Wireless Digital Controller with Sensor (mounting 8 to 12 feet)         ALSCS2 - Airlink Synapse Wireless Digital Controller with Sensor (mounting 12 to 20 feet)           ALSCS2 - Airlink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting heig)         ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height           IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor max 25-40' mounting height         IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor max 25-40' mounting height           LLC - LimeLight Integral Wireless Radio Control by Lutron         LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by L           LLCS2 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by L         LLCS3 - Limelight Integral Wireless Radio Control and PIR Motion/Daylight Sensor by L	EM     Finish     Options       Blank - No Battery     BL     Blank - No Battery       BB - Battery Backup <sup>5</sup> BLK - Black     Blank - No Option       y <sup>3</sup> cWBB - Cold Weather Battery Backup <sup>5</sup> BLK - Matallic Silver       MSV - Metallic Silver BRZ - Bronze     SP1 - 10kV Surge Protection       y <sup>3</sup> s.4     t 3.4       tt 3.4     t 3.4       utron 8-15' mt height <sup>3</sup> utron 16-30' mt height <sup>3</sup> utron 31-40' mt height <sup>3</sup> utron 31-40' mt height <sup>3</sup>
Intelligent       Intelligent		E: WDGE4 LED P3 40K 70CRI R3 MVOLT SRM DDBXD  oltage Mounting  MV0LT SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/ damp locations only)*  Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.	Footnotes:         1 - 7ft cord required when ordering stem ST 60 3.         2 - Bird Guard and Uplight can not be used together.         3 - Not available with HV.         4 - IMSBT is field configurable via the LSI app that can be downloaded from your         ACCESSORY ORDERING INFORMATION (FIELD INSTALI         Description         Tamper Resistant Hardware Kit	smartphone's native app store. 5 - Battery Backup and Cold Weather Battery Backup available in UNV only; not available will external dimming or 10L and 11L. BB rated 50°C to 10°C. CWBB rated 50°C to -20°C. 6 - Custom lumen and wattage packages available consult factory. Values are within industry standard tolerances but not DLC listed.  LED) Order Number Image 685007 N/A
Ingle digits with arbitistic marker witharbitistit marker witharbitistic marker with arbitistic marker wit		DDBXD     Dark bronze       DDBXD     Dark bronze       DBLXD     Black       DNAXD     Natural aluminum       DWHXD     White       DSSXD     Sandstone       DDBTXD     Textured dark bronze	Bird Guard * Standard finishes available in white (WHT), black (BLK), metallic silver (MSV) and bronze (BRZ); other custom finishes available may require longer lead-times Wire Guard BLK only	695882CLR 695591
<ul> <li>So Sand DMG not available with sensor/control.</li> <li>Not qualified for DLC. Not available with emergency battery backup.</li> <li>D12 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WOG64 LED Rev. 11/16/23</li> <li>Bit Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>CISI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lisi-industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • WWW.lisi-Industries.com SepEC: 1002.A.04:</li> <li>SI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • WWW.lisi-Industries.com SepEC: 1002.A.04:</li> </ul>	Image: State Control and Control an	nting neights with photocell pre-programmed       VBLDAV       IEXTURED DIACK         DNATXD       Textured natural aluminum         DWHGXD       Textured white         DSSTXD       Textured sandstone         ent sensor for 8–15' mounting heights.       Vambient sensor for 8–15' mounting heights         v/ ambient sensor for 15'-30' mounting heights       Textured sandstone         NOTES       1         1       347V and 480V not available with DS.         2       PE not available in 480V and with sensors/controls.	House Side Shield         BLK only         Wall Mount Arm         Formed 16 gauge steel bracket designed to attach precisely to the Excursion housing and easily mount to a wall. Finished with LSI's DuraGrip polyester powder coat finishing process. Mount to 4 inch J-Box (by others) on interior wall surfaces or covered damp locations. Not designed for exterior locations exposed to direct contact with water. Weight 17.5 lbs.	695593 695593 695593 724323CLR
2 LIGHTFIXTORE C DETAIL 3		D12 • Phone: 1-800-705-SERV (7378) • www.lithonia.com WDGE4 LED ights reserved. Rev. 11/16/23	Custom finishes available but may require longer lead-times *Wall mount arm is not compatible with Bird Guard or Uplight Distribution.   LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsi-indu (513) 372-3200 • ©2020 LSI Industries Inc. All Rights Reserved. Specificat	ustries.com Page 2/7 Rev. 12/30/ tions subject to change without notice. Page 2/7 Rev. 12/30/ SPEC.1002.A.04

age 2 OWER AND LUMENS Lumen/Distribution Drive Current Power Wattage (Watts) Input Current (mA) @ 120V Input Current (mA) @ 208V Input Current (mA) @ 240V Input Current (mA) @ 240V Input Current (mA) @ 277V Optics Lumens BUG Rating	B1 Asymmetric 11W 100 60 50 40 40 499 B0-U1-G1	B2 Asymmetric 23W 200 120 120 100 90 90 882 882 80-U2-G1		LUMEN MAINTE Ambient T Temperature ( 25°C 40°C 50°C NOTE: Maintenance dat represents the worst case COLOR TEMPER. Color Temperature (CCT) 4000 3000	NANCE M-21 Lumen Maintenance 10,000 Hours) S94% S350,000 S93% S250,000 S90% S170,000 a applies to the highest drive current an e at the highest wattage. ATURE CRI Multiplier (Nominal) (Hours) 70 1.00 80 0.87	ABW ARBOR WALL SCONCE LUMEN MULTIPLIER Ambient Lumen Temperature Multiplier 0°C 1.02 10°C 1.01 25°C 1.00 50°C 0.97 d						MUNICIPAL SUBMISSION	DESCRIPTION
ample Number: ABW-B2-LED- Product Family ABW=Arbor Wall Mount	D1-A-GM Lumens 1 B1=Mid Lumen Output B2=High Lumen Output	Source LED	Voltage D1=Dimmi	ing Driver (120-277V) <sup>2</sup>	Distribution A=Asymmetric	Color       AP=Grey       BZ=Bronze       BK=Black       DP=Dark Platinum       GM=Graphite Metallic       WH=White       CC=Custom Color <sup>3</sup>						4 EGB FOR	BY
Options (Add as Suffix) 8030=80 CRI / 3000K CCT <sup>4</sup> HA=50° High Ambient <sup>5</sup> MS/DIM-L8=Motion Sensor fo DIM=0-10V Dimming Driver Le OTES: Standard 4000K CCT nominal 70 CRI Dimming driver standard. RAL and custom color matching ava Extended lead times apply. Use dedi	or Dimming or Bi-Level Operation ads Brought Out from Fixture I. ilable. Consult your lighting representat icated IES files when performing layouts	ן פ יive at Cooper Lighting	Solutions for	r more information.	Accessories (Order Separate ISHH=Wireless Configuration (Occupancy Sensor Se	y) I Tool for Integrated Sensor Itings) <sup>€</sup>						I 03/18/202	ISSUE DATE
HA option limited to B1 lumen packa The ISHH configuration tool is require	age. red to adjust parameters including high	and low dimming, ser	nsitivity, time d	delay, cutoff and more. Consu	ult your lighting representative at Coope	r Lighting Solutions for more information.		NO	T APPRO	/ED FOR C	ONST	RUCT	ON
	Cooper Lighting Solutions 1121 Highway 74 South Preachtnee City, GA 30269 9: 770-484.4800 www.cooperlighting.com	ecifications and nensions subject to ange without notice.	RE	"D" DE	TAIL	TD514022EN July 1, 2019 10:56 AM	4		STONEFIELD engineering & design	Rutherford, NJ • New York, NY • Boston, MA	www.stonefieldeng.com	Headquarters: 92 Park Avenue. Rutherford, NI 07070	Phone 201.340.4468 Fax 201.340.4472
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PRELIMINARY & FINAL MAJOR SITE PLAN	VILLANI REALTY GROUP	PROPOSED RESIDENTIAL DEVELOPMENT	BLOCK 110, LOT 2.02 TO 2.13 430 GROVE STREET BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY
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